

Planning Committee Meeting 9th December 2020

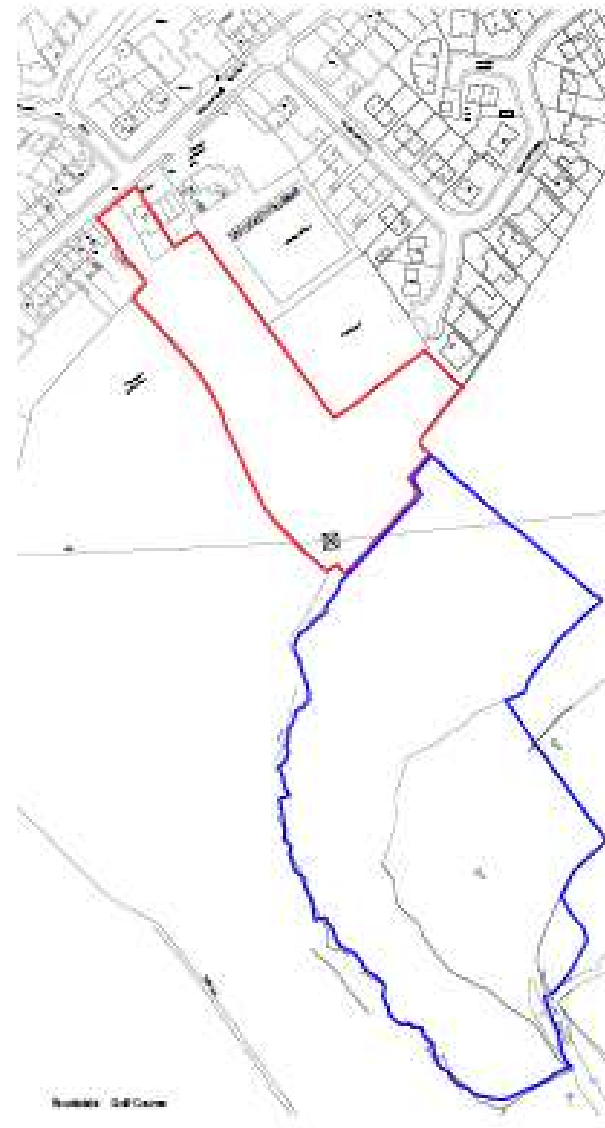
PA/344685/20

Variation of conditions 1, 2, 3, 4, 5, 6, 8, 10 & 13
relating to app no. PA/343302/19

Land to the rear of the Dog and Partridge PH, Medlock
Road, Failsworth, Oldham, M35 9NP



Location Plan



Aerial View



Site Photos (25/11/2020) – taken from the site entrance.



Site Photos (25/11/2020) – taken from Medlock Road.



Site Photos (25/11/2020) – taken from the rear/side of Dog and Partridge Public House



Site Photos (25/11/2020) – taken from Stamford Drive



Condition No.1 (Time limit):





Requires a start within three years of the to comply with the provisions of the Town & Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004. Therefore, it has been agreed this will not be removed or varied with the applicant's agent.

Condition No.2 (Approved Plans):

This condition lists the approved plans for the avoidance of doubt and to ensure that the development is carried out in accordance with the approved plans and specifications.

As such, this condition has been varied to take account of the approved details that have been submitted to vary/remove other conditions from the original decision.

Condition No. 3 (Materials):

FINISH	DESCRIPTION
	<u>Brickwork</u> Wienerberger – Kempley Antique
	<u>Stone Coursing / Stone Heads and Cills / Stone Surrounds / Parapet Copings</u> Scout Moor Gritstone - Petrological Description – Namurian Millstone Grit (from Marshalls – Fletch Bank Quarry – Ramsbottom)
	<u>Entrance Door</u> Rockdoor composite entrance door – Irish Oak finish
	<u>Windows and Rear Access Doors</u> Anthracite Grey uPVC



Bi-Fold Doors
Anthracite Grey uPVC



Roof Finish
Slatescape - Mocha Spanish Black



Rainwater Goods
Square profile Black uPVC with Anthracite
Grey uPVC Fascia boards and Soffits



Stone Paving
Indian Sandstone Paving – Buff Multi

	<u>Close Board Fencing</u> Applied as per planning drawing reference: 570 - 004K - Proposed Boundary Treatment Plan
	<u>Hit and Miss Fencing</u> Applied as per planning drawing reference: 570 - 004K - Proposed Boundary Treatment Plan
	<u>7 Metre High Golf Net Fencing</u> Applied as per planning drawing reference: 570 - 004K - Proposed Boundary Treatment Plan

Condition No. 4 (Adequate off-street parking facilities and hardstanding construction):



Specification SureSet[®]

Driveways - permeable base (SuDS Compliant)

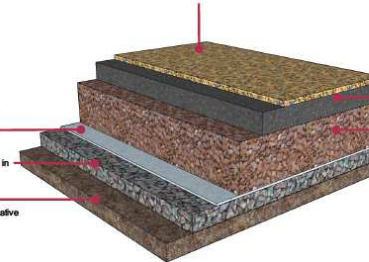
Fully permeable build up above membrane

SureSet
 An aggregate size of 3mm requires a standard depth of 16mm
 An aggregate size of 6mm requires a standard depth of 18mm
 An aggregate size of 10mm requires a standard depth of 30mm
 Fine grit is lightly cast onto an uncurved surface

Membrane
 An impermeable membrane to convey water to retention/detention/storage systems etc.
 OR
 A geo-textile separation membrane to allow infiltration directly into sub-grade and to prevent upward migration of fine soil particles may be required.

Capping/improvement layer, if required, in one or more layers. (please see notes on reverse)

Sub-grade
 Top soil stripped back until organic and vegetative material has been removed.



Asphalt Binder Course
 Laid by others in well compacted layers.
 A 70mm minimum depth of maximum size AC 10 open graded asphalt.
 Max 100/150 pen to BS EN13108-1:2006 (Bituminous Macadam) or (recommended BBA approved polymer modified binder).

Sub-base
 Laid by others in well compacted layers.
 A 175mm minimum depth of well compacted Type 3 granular sub-base to SHW clause 805 or 444mm, 4/20mm graded crushed concrete aggregate to BS EN12620 or locally available secondary or recycled aggregates which comply with the above specification blended with 2.5.3mm graded crushed concrete aggregate to BS EN12620.

Also suitable for
 Courtyards, Town centres & Occasional maintenance vehicles

Please refer to specification guidance notes on reverse side.

SureSet UK Ltd © T138 V8

Condition No. 5 (Drainage):

- The submitted details have been considered by the Lead Local Flood Authority, and it has been confirmed they are sufficient to satisfy condition 5 of planning application. Provided that a full survey of the watercourse has been undertaken and provided for the LLFA to review prior to occupation of the development.
- As a result, this condition has been varied to require the development is constructed in accordance with the above stated details/ plans, and a full survey of the watercourse has been undertaken and provided for the LLFA to review prior to occupation of the development.

Condition No. 6 (To protect the watercourse and Brookdale Golf Course SBI):

- To address the pre-commencement part of this condition the application is supported by the submission of a 'Phase 1 Ecological Survey & Appraisal & Amphibian Habitats Suitability Index Assessment (Update)', produced by Sensible Ecological Survey Solutions. This report is considered acceptable GMEU.
- Therefore, the prior to commencement part of this condition has been varied to address this submission.

Condition No. 8 (Trees/shrubs within the site):

Cellweb® TRP Installation Guide



LANDSCAPE PLAN
PROJECT: [Project Name]
DATE: [Date]
SCALE: [Scale]

TREE PROTECTION PLAN
PROJECT: [Project Name]
DATE: [Date]
SCALE: [Scale]

LEGEND

- Tree Protection Zone (TPZ)
- Tree Protection Area (TPA)
- Tree Protection Barrier (TPB)
- Tree Protection Sign (TPS)
- Tree Protection Fencing (TPF)
- Tree Protection Netting (TPN)
- Tree Protection Mulch (TPM)
- Tree Protection Fabric (TPFAB)
- Tree Protection Geotextile (TPG)
- Tree Protection Geomembrane (TPGM)
- Tree Protection Geocomposite (TPGC)
- Tree Protection Geocell (TPGCL)
- Tree Protection Geotextile Reinforcement (TPGR)
- Tree Protection Geotextile Reinforcement Fabric (TPGRF)
- Tree Protection Geotextile Reinforcement Geomembrane (TPGRGM)
- Tree Protection Geotextile Reinforcement Geocomposite (TPGRGC)
- Tree Protection Geotextile Reinforcement Geocell (TPGRGCL)

STEP 1: Prepare Surface
A photograph showing a gravel path being prepared in a wooded area.

STEP 2: Lay out Treetex™
A photograph showing a person unrolling a white fabric (Treetex) over a prepared surface.

STEP 3: Lay out Cellweb® TRP
A photograph showing a person installing a black grid (Cellweb TRP) over the white fabric.

Condition No. 9 (Landscaping scheme):



Specification SureSet[®] Permeable Paving

Driveways - permeable base (SuDS Compliant)

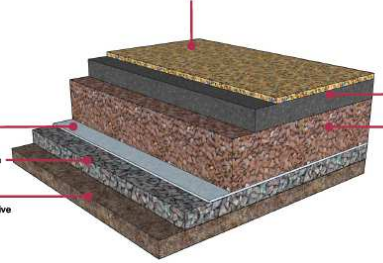
Fully permeable build up above membrane

SureSet
 An aggregate size of 3mm requires a standard depth of 46mm
 An aggregate size of 6mm requires a standard depth of 48mm
 An aggregate size of 10mm requires a standard depth of 30mm
 Fine grit is lightly cast onto an uncured surface

Membrane
 An impermeable membrane to convey water to retention/detention/storage systems etc.
 OR
 A geo-textile separation membrane to allow infiltration directly into sub-grade and to prevent upward migration of fine soil particles may be required.

Capping/Improvement layer, if required, in one or more layers. (please see notes on reverse)

Sub-grade
 Top soil stripped back until organic and vegetative material has been removed.



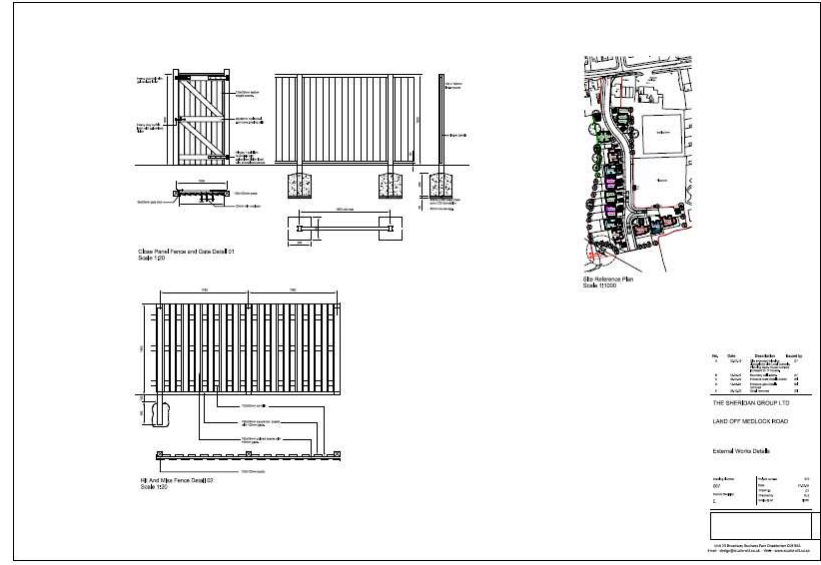
Asphalt Binder Course
 Laid by others in well compacted layers.
 A 70mm minimum depth of maximum size AC 10 open graded asphalt.
 Max 100% 50 per to BS EN13108-1:2006 (Bituminous Macadam) or (recommended BBA approved polymer modified binder).

Sub-base
 Laid by others in well compacted layers.
 A 175mm minimum depth of well compacted Type 3 granular sub-base to SHW clause 905 or 440mm, 420mm graded crushed concrete aggregate to BS EN12620 or locally available secondary or recycled aggregates which comply with the above specification blined with 26.3mm graded crushed concrete aggregate to BS EN12620.

Also suitable for Courtyards, Town centres & Occasional maintenance vehicles

Please refer to specification guidance notes on reverse side.

SureSet UK Ltd © T138 V8



Condition No. 10 (Protection of bird habitats):

GMEU noted that given this condition has no prior commencement requirement and given birds can sometimes decide to nest in unlikely locations, the condition is still therefore required and reasonable to attached.

Condition No. 11 (Landfill Gas/Contaminated Land):

The Phase II Geoenvironmental Site Investigation Report by GEOCON, dated October 2017 has classified the whole site as CS3/Amber 1 with regards to ground gas. The Councils Environmental Health Section considered the submitted details and confirmed they address the pre-commencement portion of Condition no. 11. However, a validation report will be required for all plots to confirm the installation of the membranes, is required proper to occupation.

Condition No.13 (Visibility in the interests of highway safety):

It is noted on site (19/3/2020) that the boundary wall to the front of 111 Medlock Road has been re-sited in accordance with the detail shown on plan ref: 005 Rev H and J930/access/Fig 1. To this end, this condition has been varied to require the boundary wall to the front of 111 Medlock Road remains re-sited, in accordance with the detail shown on plan ref: 005 Rev H and J930/access/Fig 1, at all times and the area between the fence line and the access shall be permanently kept clear of all obstructions.

